

DEEP RIVER ARENA RINK REPLACEMENT

TOWN OF DEEP RIVER

2 CLUB HOUSE RD., DEEP RIVER, ONTARIO, K0J 1P0

LIST OF DRAWINGS

STRUCTURAL

- S000 COVER & LOCATION MAP
- S101 GENERAL NOTES & TYPICAL DETAILS
- S102 TYPICAL DETAILS
- S200 OVERALL SITE PLAN
- S201 GROUND FLOOR DEMOLITION PLAN
- S202 GROUND FLOOR PLAN
- S203 RINK FLOORING PLAN
- S501 SECTIONS & DETAILS
- S502 SECTIONS & DETAILS
- S503 SECTIONS & DETAILS
- S504 SECTIONS & DETAILS
- S505 SECTIONS & DETAILS



1
S000 LOCATION MAP



NAME OF CONSULTANT : BARRY BRYAN ASSOCIATES CERTIFICATE OF PRACTICE NUMBER : 5192 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL : (905) - 666 - 5252 (Toronto) (905) - 427 - 4495 FAX : (905) - 666 - 5256		OBC Reference																
NAME OF PROJECT : Deep River Arena Rink Replacement																		
LOCATION OF PROJECT : Deep River Arena 2 Club House Rd., Deep River, Ontario, K0J 1P0																		
DATE : February 2026																		
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building																		
11.00 Building Code Version: <u>0_Reg_332/12</u> Last Amendment: <u>0_Reg_79/18</u>																		
11.01 Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation	[A] 1.1.2.																
Description: ARENA REPLACEMENT																		
11.02 Major Occupancy Classification:	Occupancy: <u>A3</u> Use: <u>ASSEMBLY</u>	3.1.2.1 (1)																
11.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7																
Description: -																		
11.04 Building Area (m ²)	<table border="1"> <thead> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td></td> <td>±3,537.00</td> <td></td> <td>±3,537.00</td> </tr> <tr> <td>Total=</td> <td>±3,537.00</td> <td></td> <td>±3,537.00</td> </tr> </tbody> </table>	Description	Existing	New	Total		±3,537.00		±3,537.00	Total=	±3,537.00		±3,537.00	[A] 1.4.1.2.				
Description	Existing	New	Total															
	±3,537.00		±3,537.00															
Total=	±3,537.00		±3,537.00															
11.04.4 Gross Area (m ²)	<table border="1"> <thead> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td>±3,042.0</td> <td></td> <td>±3,042.0</td> </tr> <tr> <td>SECOND FLOOR</td> <td>± 495.00</td> <td></td> <td>± 495.00</td> </tr> <tr> <td>Total=</td> <td>±3,537.00</td> <td></td> <td>±3,537.00</td> </tr> </tbody> </table>	Description	Existing	New	Total	GROUND FLOOR	±3,042.0		±3,042.0	SECOND FLOOR	± 495.00		± 495.00	Total=	±3,537.00		±3,537.00	[A] 1.4.1.2.
Description	Existing	New	Total															
GROUND FLOOR	±3,042.0		±3,042.0															
SECOND FLOOR	± 495.00		± 495.00															
Total=	±3,537.00		±3,537.00															
11.04.8 Mezzanine Area (m ²)	<table border="1"> <thead> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td></td> <td>N/A</td> <td></td> <td></td> </tr> <tr> <td>Total=</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Description	Existing	New	Total		N/A			Total=				[A] 1.4.1.2.				
Description	Existing	New	Total															
	N/A																	
Total=																		
11.05 Building Height	<u>2</u> Storeys above grade <u>±10.3</u> (m) Above grade	[A] 1.4.1.2 & 3.2.1.1																
11.06 Number of streets/ fire fighter access:	<u>EXISTING</u> street(s)	3.2.2.10 & 3.2.5																
11.07 Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.-N.																
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>6</u> Hazard Index: <u>4</u> Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1 11.2.1.1A 11.2.1.1B to N. 4.2.1(3) & 5.2.2.1(2)																
11.09 Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2																
11.10 Occupant Load:	<table border="1"> <thead> <tr> <th>Floor Level/ Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occup. Load</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td><u>NO CHANGE</u></td> <td></td> <td></td> </tr> <tr> <td>SECOND FLOOR</td> <td><u>NO CHANGE</u></td> <td></td> <td></td> </tr> </tbody> </table>	Floor Level/ Area	Occupancy Type	Based On	Occup. Load	GROUND FLOOR	<u>NO CHANGE</u>			SECOND FLOOR	<u>NO CHANGE</u>			3.1.17				
Floor Level/ Area	Occupancy Type	Based On	Occup. Load															
GROUND FLOOR	<u>NO CHANGE</u>																	
SECOND FLOOR	<u>NO CHANGE</u>																	
11.11 Plumbing Fixture Requirements:	Ratio: Male/Female = 50/50 Except as noted otherwise <table border="1"> <thead> <tr> <th>Floor level/ Area</th> <th>Occupant Load</th> <th>OBC Reference</th> <th>Fixtures Required</th> <th>Proposed Fixtures</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td><u>NO CHANGE</u></td> <td></td> <td></td> <td></td> </tr> <tr> <td>SECOND FLOOR</td> <td><u>NO CHANGE</u></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Floor level/ Area	Occupant Load	OBC Reference	Fixtures Required	Proposed Fixtures	GROUND FLOOR	<u>NO CHANGE</u>				SECOND FLOOR	<u>NO CHANGE</u>				3.7.4	
Floor level/ Area	Occupant Load	OBC Reference	Fixtures Required	Proposed Fixtures														
GROUND FLOOR	<u>NO CHANGE</u>																	
SECOND FLOOR	<u>NO CHANGE</u>																	
11.12 Barrier-free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No NOT APPLICABLE TO SCOPE	11.3.3.2.(2)																
11.13 Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5																
11.14 Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7																
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1.																
11.16 Notes:	THE PROJECT INVOLVES THE REPLACEMENT OF THE EXISTING REFRIGERATED RINK, SLAB AND SUPPORTING REFRIGERATION EQUIPMENT.		11.5.1															

DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA

**DEEP RIVER ARENA
RINK REPLACEMENT**
 TOWN OF DEEP RIVER
 2 CLUB HOUSE RD., DEEP RIVER, ONTARIO, K0J 1P0



BBA PROJECT NO. 25244

S000

ARCHITECTURAL & STRUCTURAL:
BBA
 BARRY BRYAN ASSOCIATES
 Architects
 Engineers
 Project Managers
 250 Water Street
 Suite 201
 Whitby Ontario L1N 0G5
 Tel: (905) 666-5252
 Fax: (905) 666-5256
 e-mail: bba@bbv-archeng.com



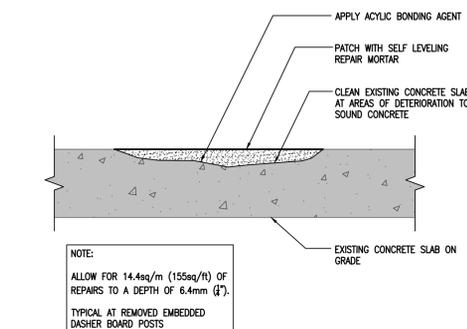
DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE
COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED
UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE
WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

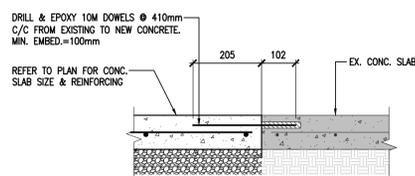
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED
AND SEALED BY THE CONSULTANT.



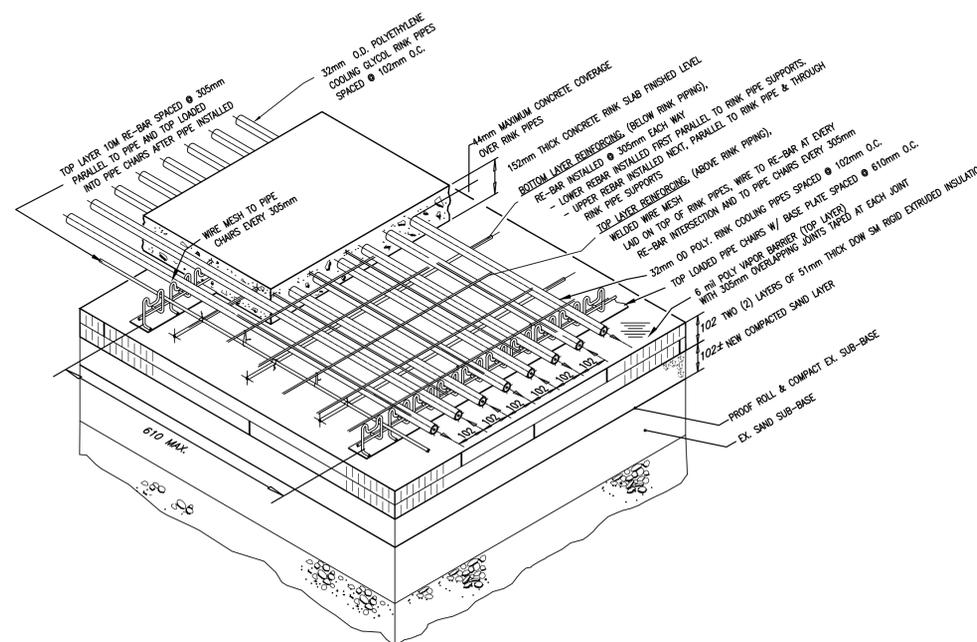
NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA



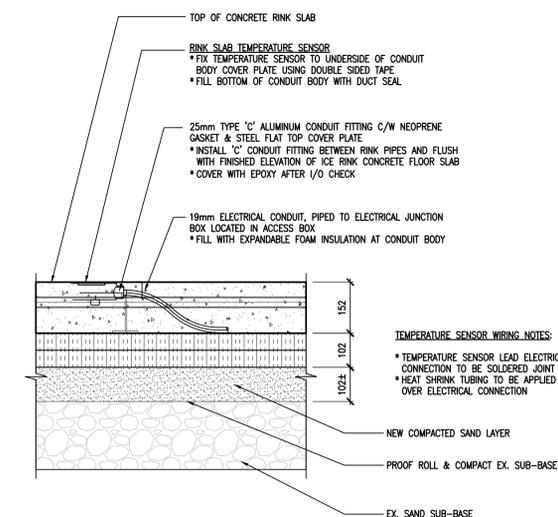
6 S102 TYPICAL THIN SET SURFACE REPAIR & APRON EDGE
1:10



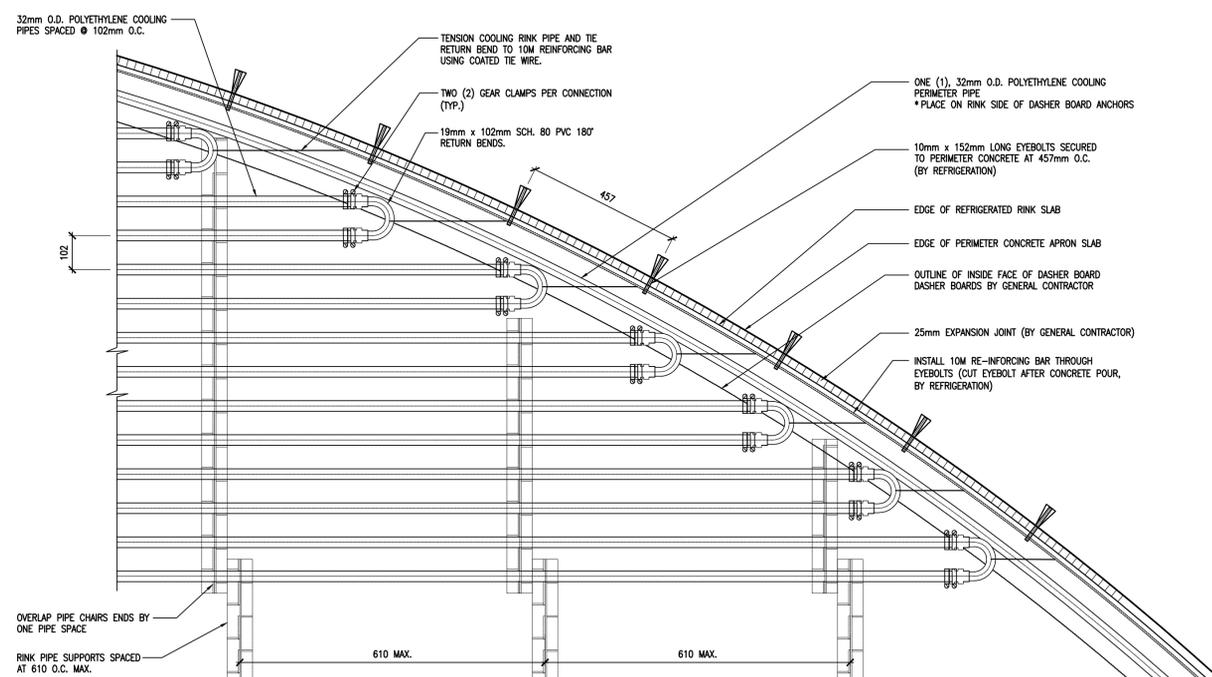
5 S102 TYPICAL DOWEL NEW TO EXISTING
1:10



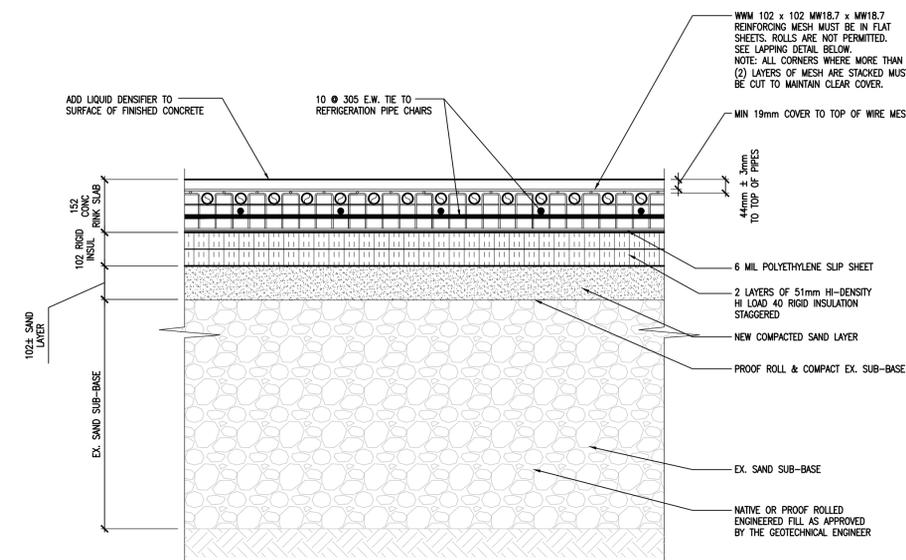
4 S102 RINK FLOOR ISOMETRIC DETAIL
N.T.S.



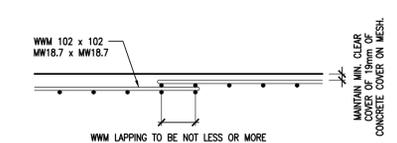
2 S102 RINK FLOOR SENSOR DETAIL
1:10



3 S102 RINK PIPE RETURN BEND FASTENING
N.T.S.



NOTES:
PROVIDE ADEQUATE CHAIRS TO SUPPORT REINFORCING AT NO LESS THAN 610mm CENTRES.
DO NOT SUPPORT REINFORCING STEEL ON REFRIGERANT PIPING.
NO CONCRETING APPARATUS IS TO BE SUPPORTED OFF OF THE REFRIGERANT PIPING SUPPORTS.
REFER TO SPECIFICATIONS FOR TOLERANCE REQUIREMENTS FOR SAND BED, INSULATION LAYER AND TOP OF RINK SLAB FLATNESS.
A SURVEY ESTABLISHING THE ELEVATIONS OF THE TOP OF THE RIGID INSULATION LAYER SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY REINFORCING CHAIRS, PIPING, REINFORCING ETC. SURVEY SHALL SHOW THAT TOLERANCES AS SPECIFIED ARE BEING MET.
PROVIDE SURVEYS TO VERIFY TOLERANCES AND SUBMIT FINAL SURVEY OF RINK SLAB SURFACE TO CONSULTANT.
COORDINATE INSTALLATION OF RINK BOARD INSERTS WITH DASHERBOARD SUPPLIER.
NOTE DO NOT PERMIT CONCENTRATED LOADS DURING CONSTRUCTION, ON FINISHED RINK SLAB.



NOTES:
1. BOTTOM LONGITUDINAL BAR TO BEAR ON THE CHAIR DIRECTLY.
2. CHAIRS MUST BE TIED TO WIRE MESH.
3. MINIMUM CLEAR COVER OF 19mm (3/4") SHALL BE MAINTAINED AT ALL TIMES.

1 S102 RINK SLAB DETAILS
1:10



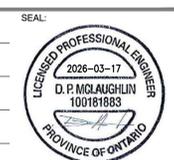
PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0

TOWN OF DEEP RIVER

DRAWING:
TYPICAL DETAILS

DESIGN BY: DM
DRAWN BY: JMM
CHECKED BY: DM
DATE: FEBRUARY 2026
SCALE: AS NOTED
PROJECT NO: 25244
DRAWING NO: S102



25244 S102

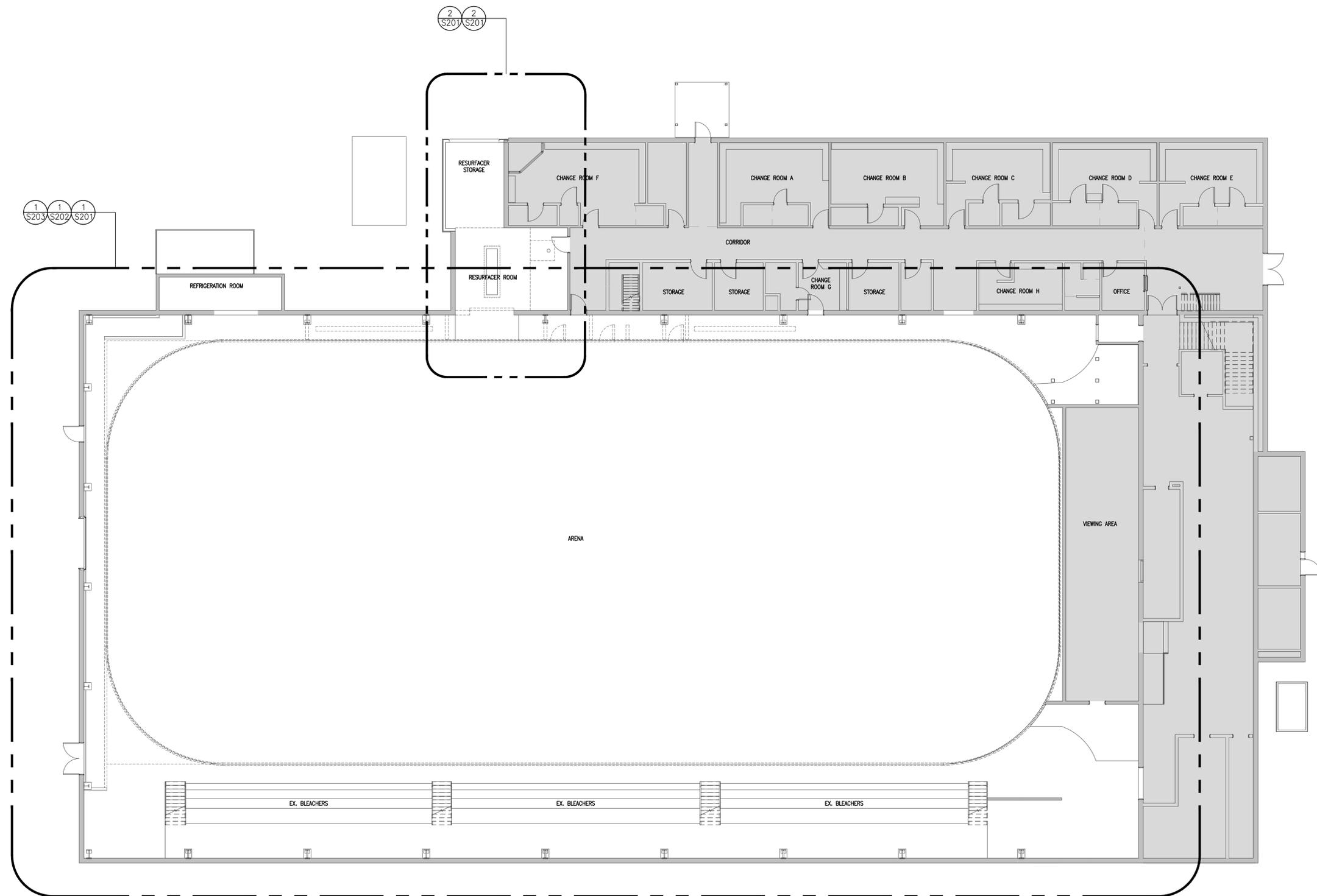
DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	SBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	SBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	SBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	SBA



1
S200 OVERALL GROUND FLOOR PLAN
1:125

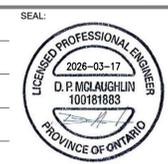


PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0
TOWN OF DEEP RIVER

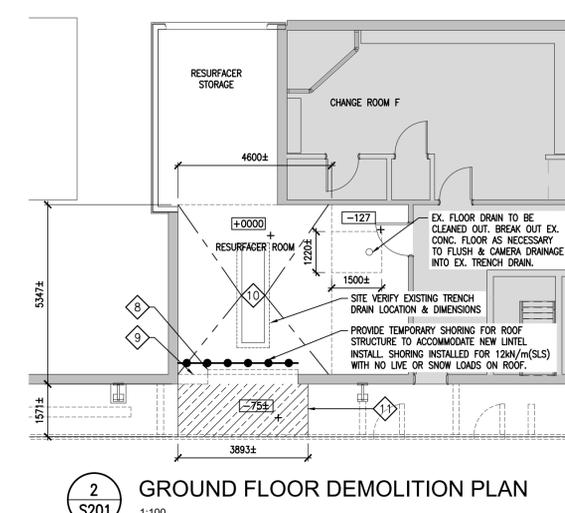
DRAWING:
OVERALL SITE PLAN

DESIGN BY:
DM
DRAWN BY:
JMM
CHECKED BY:
DM
DATE:
FEBRUARY 2026
SCALE:
AS NOTED



PROJECT NO:
25244
DRAWING NO:
S200

DEMOLITION LEGEND	DEMOLITION FLOOR LEGEND	DEMOLITION NOTES	TYPICAL DEMOLITION NOTES
<p>EXISTING WALL, PARTITION OR COLUMN</p> <p>--- DENOTES DEMOLITION OF BUILDING ELEMENT</p> <p>EXISTING DOOR, FRAME AND TRIM TO REMAIN</p> <p>DENOTES EXISTING RECEPTACLE ON DASHER BOARD</p>	<p>HATCH DENOTES EXTENTS OF EXISTING RINK SLAB AND CONCRETE OVERPOUR TO BE REMOVED & DISPOSED OF.</p> <p>HATCH DENOTES EXTENTS OF EXISTING APRON SLAB TO BE SAW CUT, REMOVED & DISPOSED INCLUDING APRON TOE AT RESURFACER APPROACH.</p> <p>HATCH EXTENT OF EXISTING WOOD AND STEEL HEADER COVERS AND WALLS TO BE REMOVED AND REPLACED.</p> <p>HATCH EXTENT OF EXISTING RUBBER FLOORING AND PLAYERS BENCHES/PENALTY BOXES/ TIME KEEPER BOOTH/ BLEACHERS AND STAIRS TO BE REMOVED.</p> <p>SHADED AREA DENOTES EXISTING TO REMAIN</p> <p>HATCH EXTENT OF EXISTING RUBBER FLOORING TO BE REMOVED AND DISPOSED OF TO ACCOMMODATE NEW FLOORING</p>	<p>1 REMOVE EXISTING REFRIGERATED RINK SLABS IN ITS ENTIRETY AS INDICATED INCLUDING ALL ASSOCIATED PIPING REINFORCING, INSULATION, ETC. REMOVE EXISTING FILL MATERIAL DOWN TO LEVEL SHOWN ON SECTIONS. DO NOT DISTURB EXISTING SUBDRAINAGE SYSTEMS, PROOF ROLL EXISTING SUBGRADE. SEE DEMOLITION SECTIONS FOR PROFILE.</p> <p>2 REMOVE EXISTING DASHER BOARDS, SALVAGE & TURN OVER DASHER BOARDS POST TO MUNICIPALITY IN ITS ENTIRETY C/W HSS SUPPORTS, ANCHOR BOLTS & STEEL EMBEDDED PLATES.</p> <p>3 SAWCUT CLEAN JOINT ALONG THE RINK EXPANSION JOINT AS NECESSARY FOR THE REFRIGERATED SLAB REMOVAL.</p> <p>4 REMOVE EXISTING PLAYERS BENCHES, PENALTY BOXES, TIME KEEPER BOOTH INCLUDING BENCHES, BRACKETS AND FLOORING.</p> <p>5 REMOVE RINK SLAB AND CONCRETE OVERPOUR.</p> <p>6 BREAK OUT EXISTING HEADER TRENCH WALLS ALL ACCOMMODATE NEW HEADER.</p> <p>7 REMOVE EXISTING RUBBER FLOORING.</p> <p>8 REMOVE EXISTING OVERHEAD COILING DOOR.</p> <p>9 REMOVE AND DISPOSE OF EXISTING WALL.</p> <p>10 BREAK OUT EXTENTS SHOWN OF EXISTING CONCRETE SLAB AND TOPPING IN RESURFACER ROOM. ASSUME EXISTING SLAB TO BE 250mm THICK AND REINFORCED TO BE REMOVED. SALVAGE ICE MELT PIT TRENCH.</p> <p>11 SAW CUT, REMOVE AND DISPOSE OF EXISTING APRON SLAB</p>	<p>1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.</p> <p>2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.</p> <p>3. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF.</p> <p>4. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.</p> <p>5. MAINTAIN WORK AREAS AND STORAGE AREAS.</p> <p>6. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL ADHESIVES INCLUDING PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.</p> <p>7. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.</p> <p>8. REMOVE ALL PROTRUSIONS OFF FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.</p> <p>9. DISPOSE OF ALL MATERIALS OFF SITE.</p> <p>10. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.</p> <p>11. THE EXISTING FACILITY WILL REMAIN OPERATIONAL FOR THE DURATION OF CONSTRUCTION. THE GENERAL CONTRACTOR MUST ISOLATE THE CONSTRUCTION AREA FROM THE SURROUNDING FACILITY OPERATION WITH DUST TIGHT TAPPS. THE EXISTING MECHANICAL VENTILATION SYSTEMS WITH THE CONSTRUCTION AREA MUST BE COVERED TO ELIMINATE DUST CIRCULATION THROUGHOUT THE FACILITY.</p> <p>12. THE GENERAL CONTRACTOR MUST WORK WITH THE TOWN TO PROVIDE TEMPORARY SIGNAGE DURING CONSTRUCTION AROUND THE WORK AREA FOR WAY FINDING. THE GENERAL CONTRACTOR WILL PROVIDE, INSTALL AND REMOVE ALL TEMPORARY SIGNAGE.</p> <p>13. ALLOW FOR DISCONNECTION TEMPORARILY AND PROTECTION OF CO2 SENSORS AND CARBON MONOXIDE THROUGHOUT CONSTRUCTION.</p>



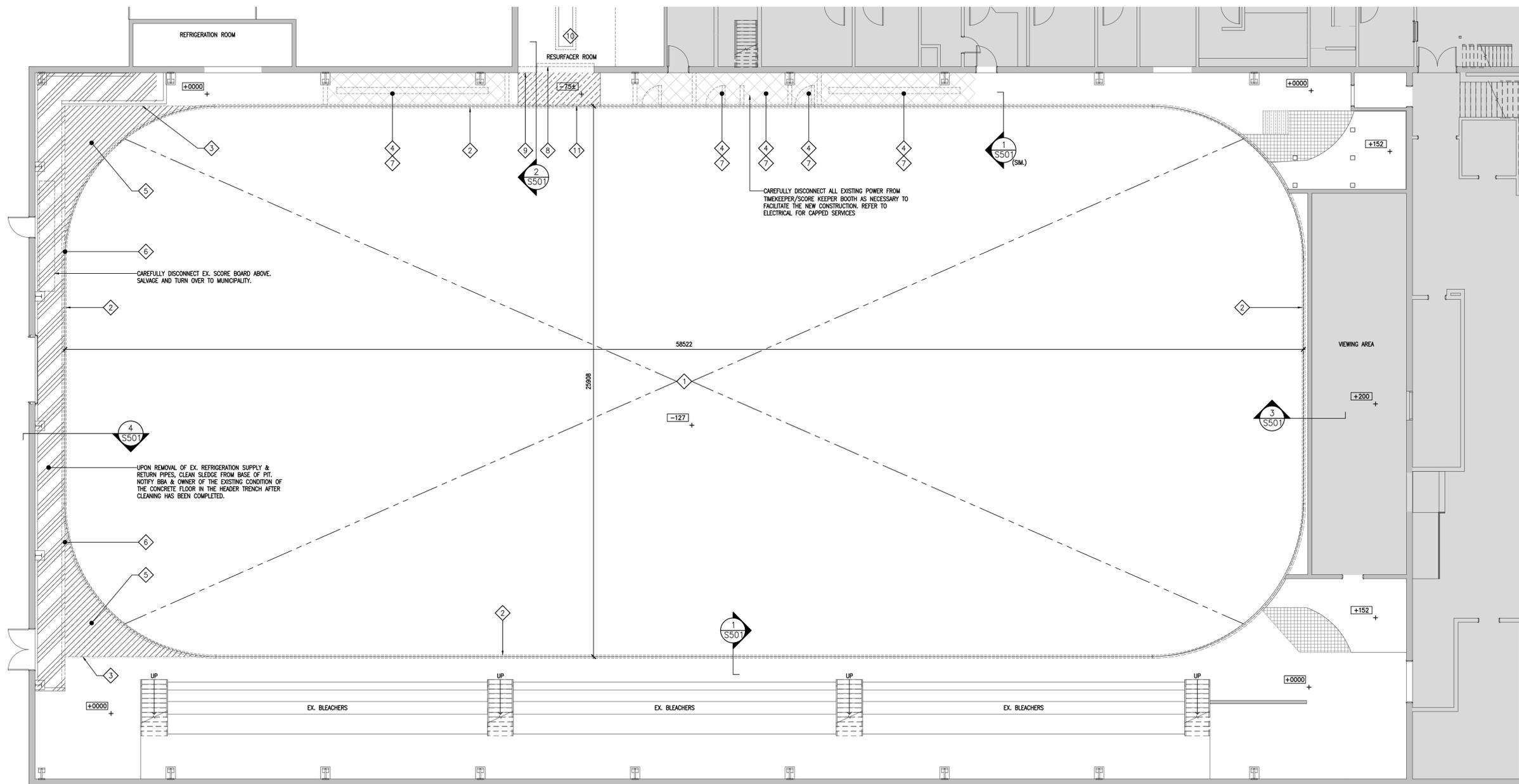
DO NOT SCALE THE DRAWINGS. CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA



1 GROUND FLOOR DEMOLITION PLAN
S201 1:100



PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0

TOWN OF DEEP RIVER

DRAWING:
**GROUND FLOOR
DEMOLITION PLAN**

DESIGN BY: DM
DRAWN BY: JMM
CHECKED BY: DM
DATE: FEBRUARY 2026
SCALE: AS NOTED
PROJECT NO: 25244

SEAL:
LICENSED PROFESSIONAL ENGINEER
2026-03-17
D. P. McLAUGHLIN
100181883
PROVINCE OF ONTARIO

DRAWING NO: S201

GENERAL NOTES

- GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
- PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED. CONDUITS SHALL BE CONCEALED IN FRAMES.
- ALL DOORS IN FIRE SEPARATION LOCATIONS SHALL HAVE CLOSER & LATCHING DEVICE.
- PUSH BUTTONS TO CONFORM TO BARRIER FREE STANDARDS.

HATCH LEGEND

- HATCH DENOTES NEW 152 REFRIGERATED CONCRETE RINK SLAB.
- HATCH DENOTES EXTENT OF NEW 205 REINFORCED CONCRETE C/W 15M @ 400 C/C E.W. AND TOE THICKENING
- HATCH EXTENT OF NEW WOOD HEADER COVERS +19mm(7) RUBBER SKATE TILE. PLUS L51x51x4.8 ANGLE STIFFENERS @ 610mm C/C.
- HATCH EXTENT OF NEW 13mm SMOOTH PLATE WITH 2 LAYERS OF 19mm RUBBER MATTING. PLUS L51x51x4.8 ANGLE STIFFENERS @ 610mm C/C
- HATCH DENOTES EXTENT OF NEW 152mm CONC. STEP
- SHADED AREA DENOTES EXISTING TO REMAIN

LINTEL SCHEDULE

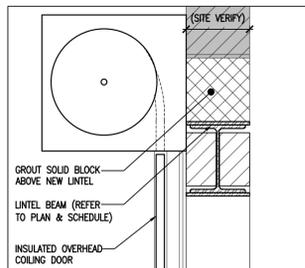
MARK	SIZE	DETAIL	REMARKS
L1	W200x36+190x10 PL (TOP & BOT.)		PROVIDE BASE PLATE AT END OF LINTEL AS INDICATED ON PLAN. DRY PACK BELOW EX. CONCRETE BLOCK @ TOP PLATE TO FACILITATE FULL BEARING

BEARING PLATE SCHEDULE

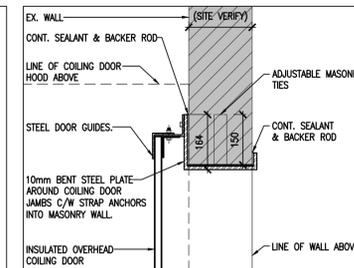
MARK	SIZE	ANCHORAGE	REMARKS
BP1	190x190x13	(2)12.7mm# HOOKED DOWELS	GROUT SOLID COURSES BELOW BEARING PLATE

DOOR AND FRAME SCHEDULE

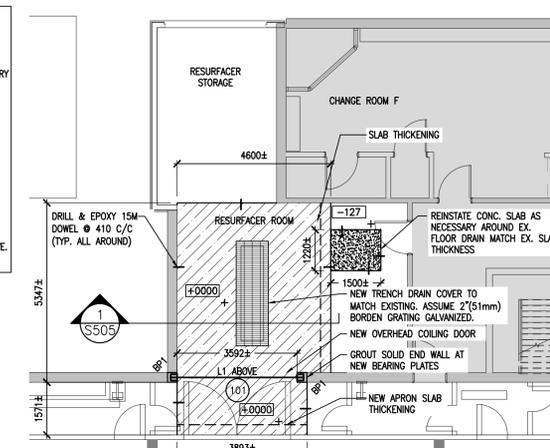
NO.	SIZE AND THICKNESS	DOOR				FRAME				FIRE RATING	REMARKS	
		TYPE	MATERIAL	FINISH	GLASS	TYPE	DETAIL	MATERIAL	FINISH			
101	3952(W)x SITE VERIFY(H)	OCB	STL	PREFIN.	-	-	H1	J1	STL	PREFIN.	90 MIN.	SITE VERIFY DOOR OPENING DIMENSIONS



HEAD DETAIL 'H1'



JAMB DETAIL 'J1'



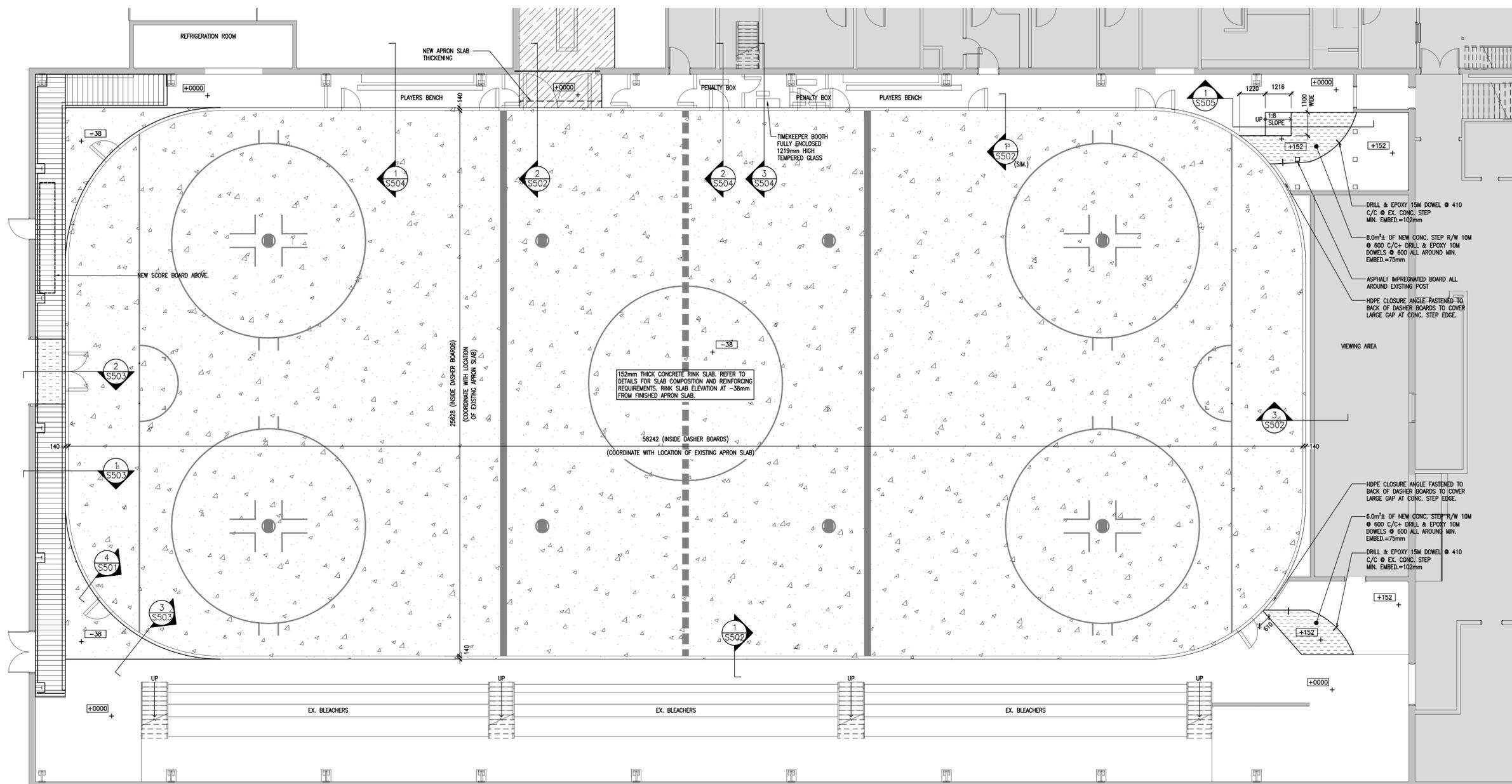
2 GROUND FLOOR PLAN 1:100

DO NOT SCALE THE DRAWINGS. CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.



NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA



1 GROUND FLOOR PLAN 1:100



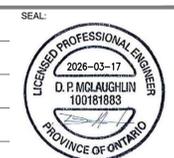
PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0

TOWN OF DEEP RIVER

DRAWING:
GROUND FLOOR PLAN

DESIGN BY: DM
DRAWN BY: JMM
CHECKED BY: DM
DATE: FEBRUARY 2026
SCALE: AS NOTED
PROJECT NO: 25244



DRAWING NO:
25244 S202

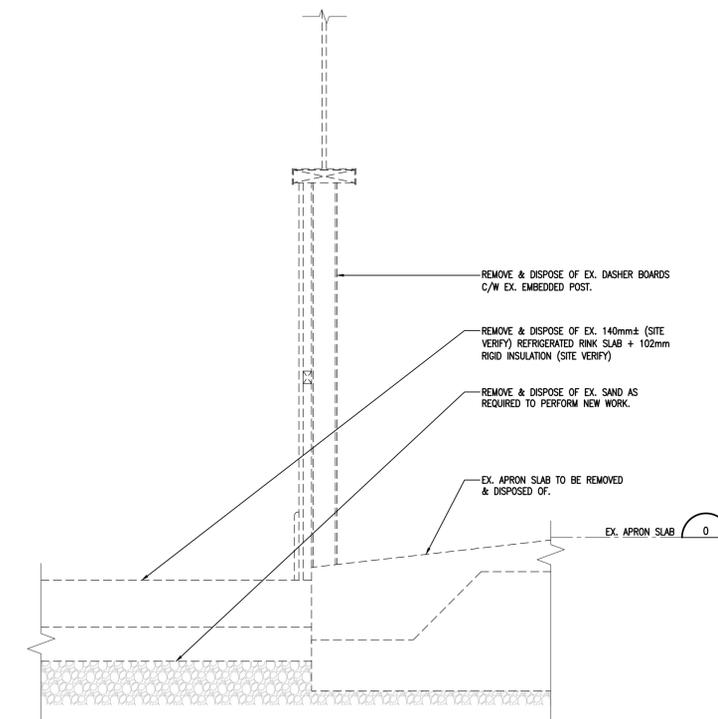
DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE
COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED
UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE
WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

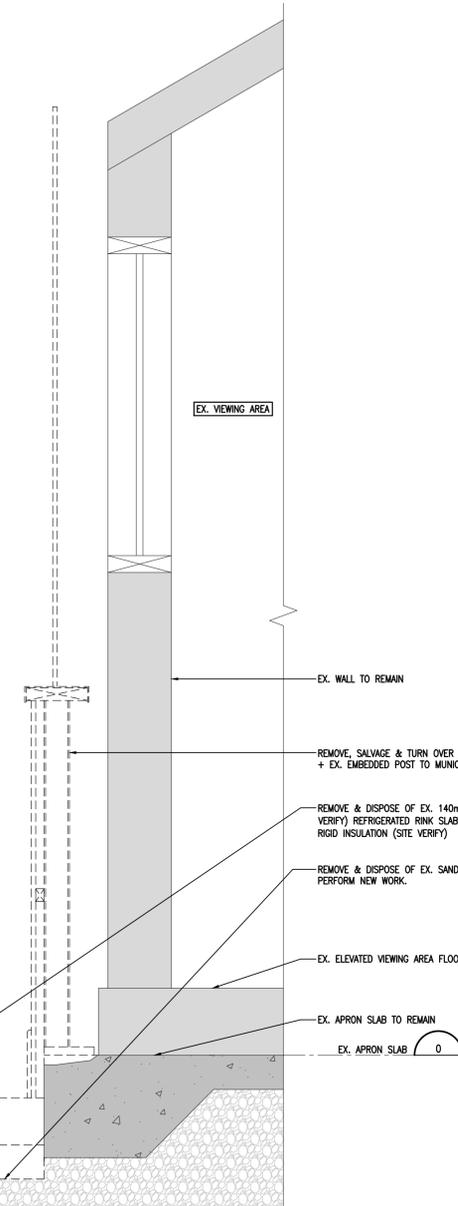
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED
AND SEALED BY THE CONSULTANT.



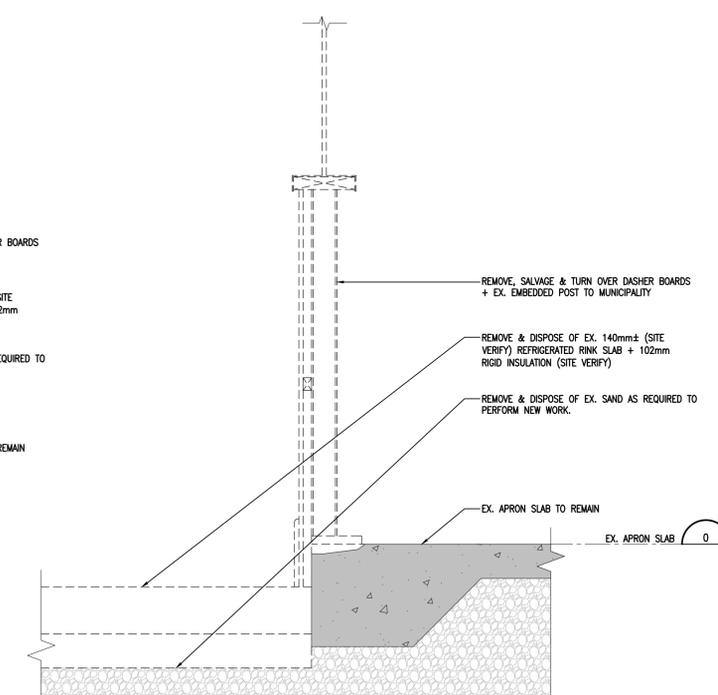
NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA



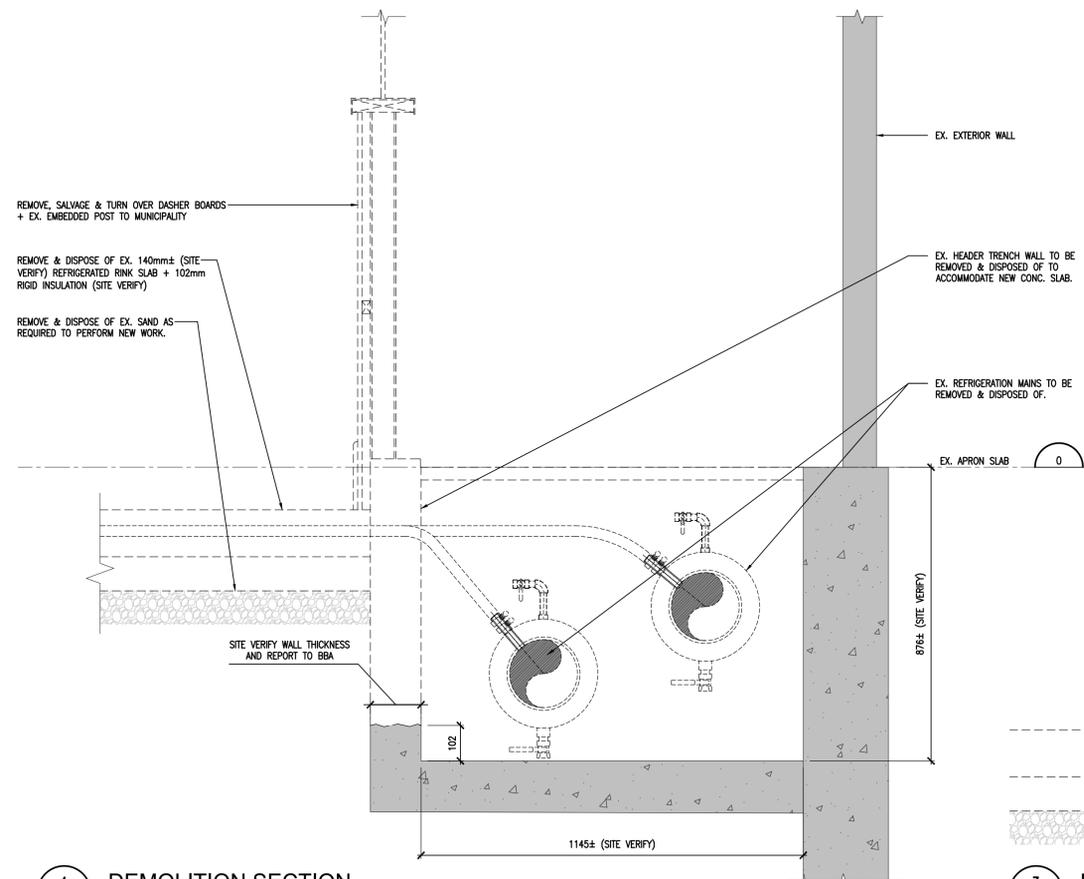
2
S501 DEMOLITION SECTION
1:10



3
S501 DEMOLITION SECTION
1:10



1
S501 DEMOLITION SECTION
1:10



4
S501 DEMOLITION SECTION
1:10



PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0
TOWN OF DEEP RIVER

DRAWING:
SECTIONS & DETAILS

DESIGN BY: DM
DRAWN BY: JMM
CHECKED BY: DM
DATE: FEBRUARY 2026
SCALE: AS NOTED
PROJECT NO: 25244
DRAWING NO: S501



25244 S501

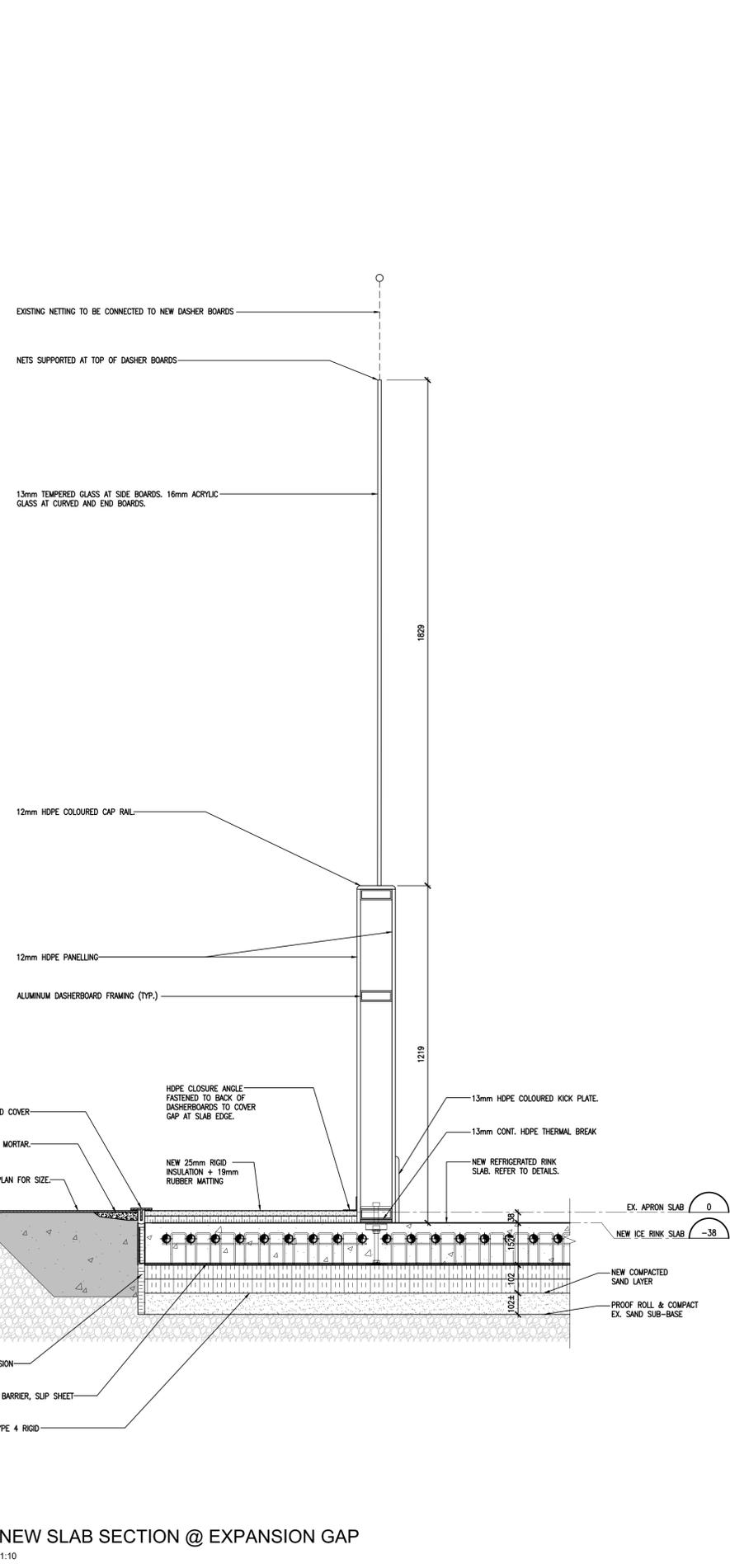
DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE
COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED
UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE
WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

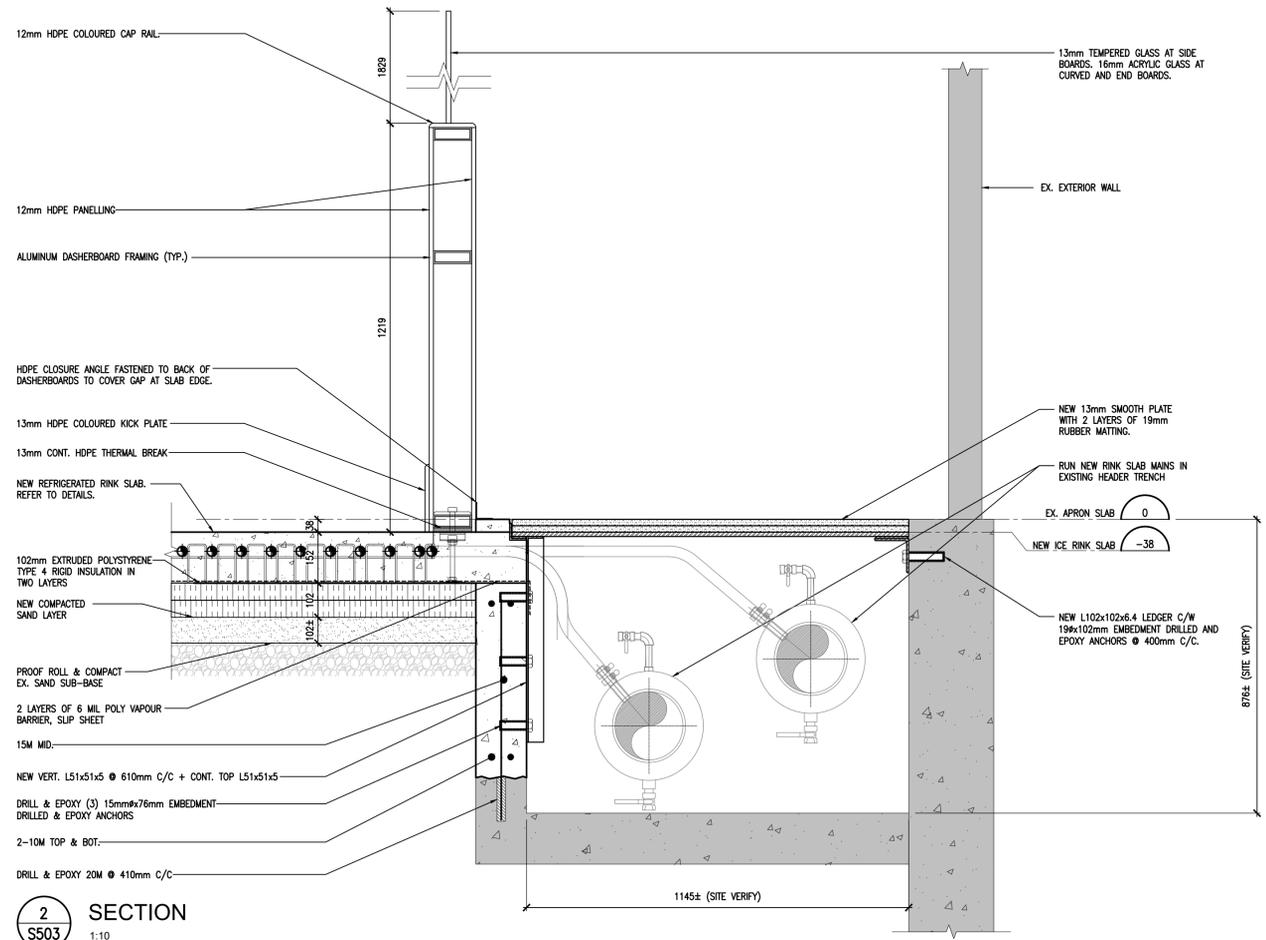
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED
AND SEALED BY THE CONSULTANT.



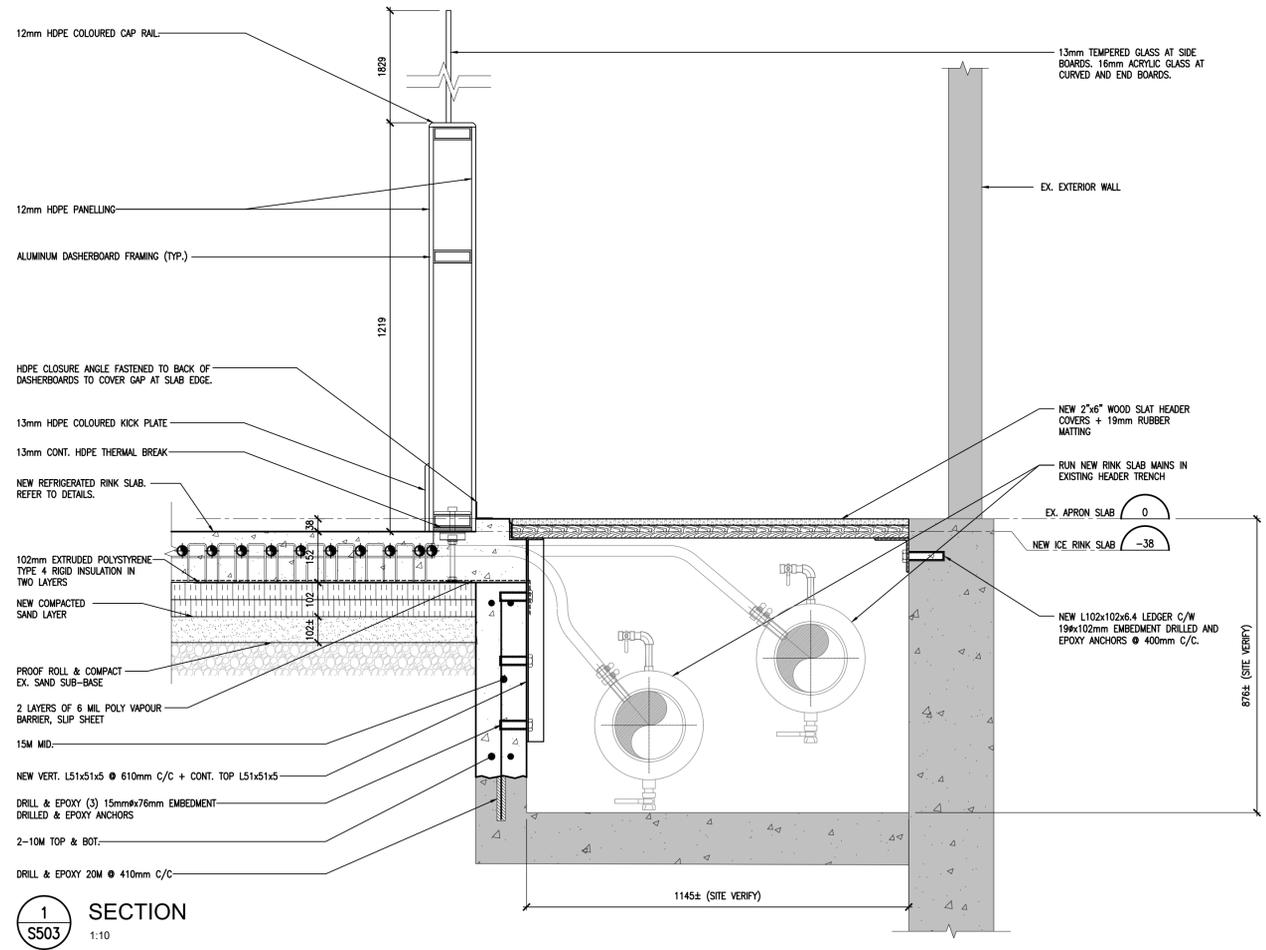
NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR REVIEW	FEB. 23, 2026	BBA
2	ISSUED FOR REVIEW	MAR. 03, 2026	BBA
3	ISSUED FOR REVIEW	MAR. 17, 2026	BBA
4	ISSUED FOR PERMIT-TENDER	MAR. 17, 2026	BBA



3 NEW SLAB SECTION @ EXPANSION GAP
S503 1:10



2 SECTION
S503 1:10



1 SECTION
S503 1:10



PROJECT:
**RINK SLAB REPLACEMENT
DEEP RIVER ARENA**

2 CLUB HOUSE RD, DEEP RIVER, ON, K0J 1P0
TOWN OF DEEP RIVER

DRAWING:
SECTIONS & DETAILS

DESIGN BY: DM
DRAWN BY: JMM
CHECKED BY: DM
DATE: FEBRUARY 2026
SCALE: AS NOTED
PROJECT NO: 25244
DRAWING NO: S503



25244 **S503**

